



Experience Portfolio



Konover Properties

The Simon Konover Companies



Konover Commercial

A Simon Konover Company



Konover Hotel Corporation

A Simon Konover Company



Konover Residential

A Simon Konover Company



SK Properties Development

A Simon Konover Company

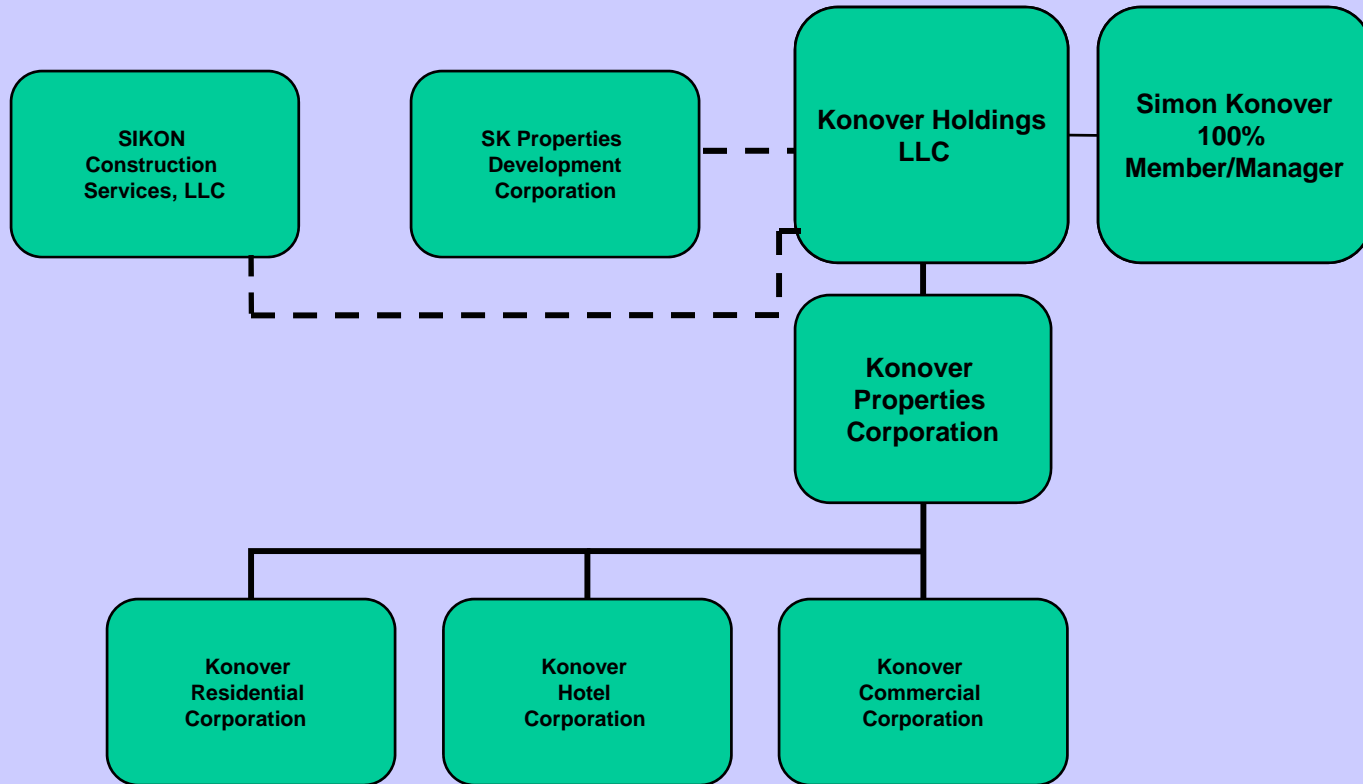


SIKON **Construction Services**^{LLC}

Konover Properties Corporation Background

- Founded by Simon Konover over 50 years ago and headquartered in West Hartford, CT
- Currently own and/or manage over 95 properties with an aggregate value in excess of \$860 million
- Approximately 700 employees, with more than 50 located at headquarters
- Build to own and to manage for the long term
- Corporate resources include Risk Management, Payroll, Human Resources and IT

OWNERSHIP



Mission

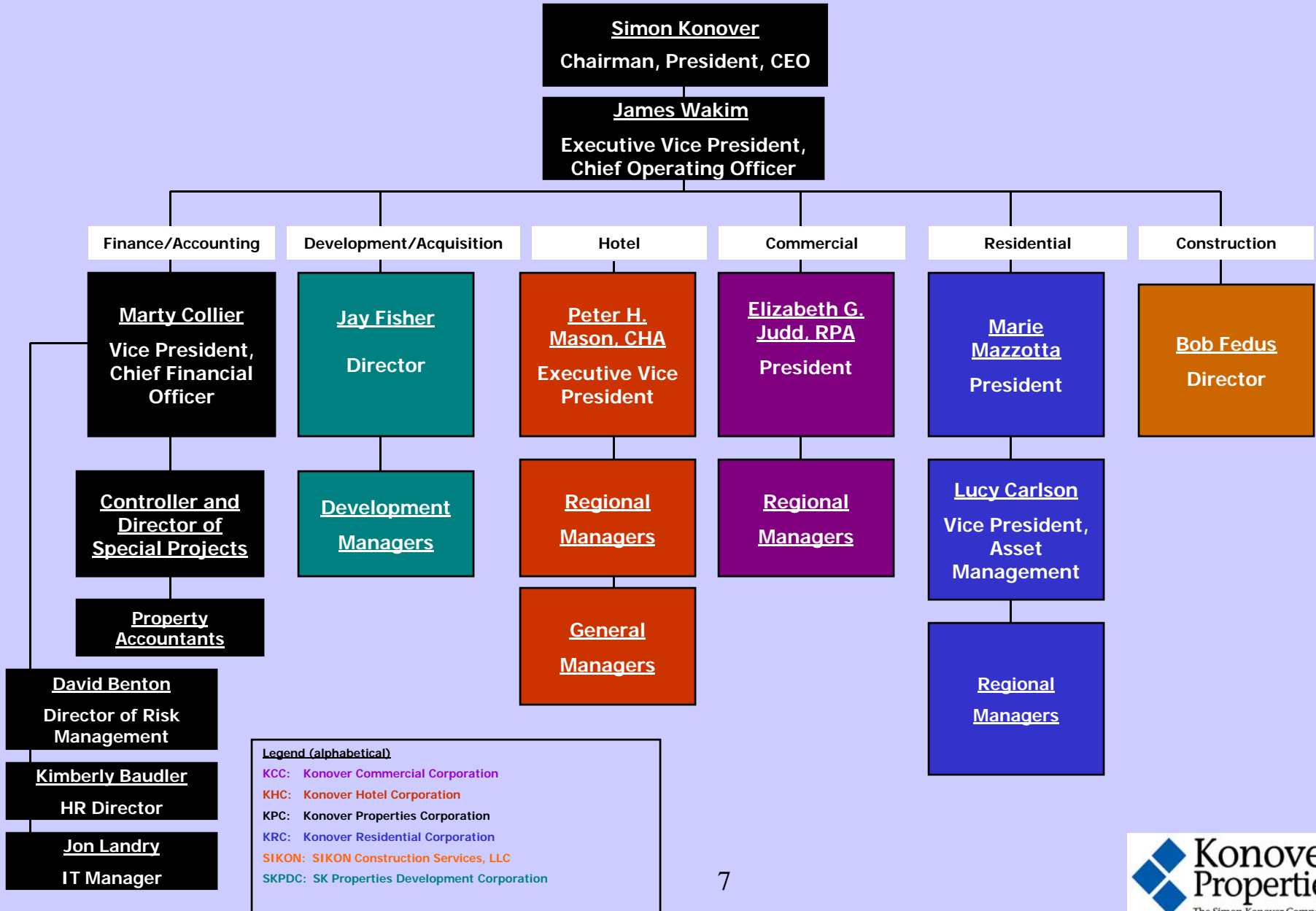
- Focus in areas where Konover Properties Corporation can be “best in class”
- Capitalize on organizational and employee strengths
- Undertake projects from start to finish (i.e. development through management)
- Prosper through asset preservation and growth for the benefit of investors, partners and associates

Core Values

- Integrity: “Business on a Handshake”
- Trust: Business must align the interests of investors, tenants and employees.
- Respect: Each individual, whether within the organization or outside, is treated with respect.
- Pride: We are proud to maintain the legacy of Simon Konover.
- Win/Win: We will succeed with honor.

KONOVER PROPERTIES CORPORATION

Board of Directors – Simon Konover, Jane Coppa, Steven Konover



Konover Properties Corporation

Owned Assets/ Assets Under Management

Type of Asset	# of Properties	Size
Apartments		
Owned – Market	15	3,141 units
Owned – Affordable	10	546 units
Managed – Market	10	1031 units
Managed - Affordable	13	931 units
Commercial		
Owned	11	965,000 S.F.
Managed	12	874,000 S.F.
Retail	4	736,000 S.F.
Hotel		
Owned – Full Service	1	237 rooms
Owned – Select Service	17	1,335 rooms
Others	3	Structured Parking/ Exposition Center



- 20 Office Buildings: 1,747,000 sq.ft.
- 4 Shopping Centers: 736,000 sq. ft.
- 3 Industrial Buildings: 91,000 sq. ft.
- 2 Parking Garages: 1,200 spaces
- Key Relationships:
 - State of Connecticut
 - Mashantucket Pequot Tribal Nation Indians (Owner)
 - Newman Living Trust Number One (Partner)
 - Yale University

55 Elm Street

Hartford, CT



- 200,000 sq. ft. Class A Office Building
- 100% leased to State of Connecticut (Attorney General, Comptroller, Treasurer)
- Recently completed major renovations, including elevator modernization
- Asset includes excess acreage for future development

One Century Tower

265 Church Street

New Haven, CT



- 270,000 sq. ft. Class A Office Building with 600 car parking garage
- Condominium with Wiggin and Dana as other unit owner
- 92 % leased to law firms, U.S. Secret Service, Yale University, Fidelity Investments, and People's United Bank

Commerce Center One

333 East River Drive
East Hartford, CT



- 100,000 sq. ft. Class A Office Building
- 75% leased to multiple tenants
- Additional 47 acres for future development



- 1 Full Service Hotel
- 1 Exposition Center
- 17 Select Service Hotels
- Key Relationships
 - Focus Hospitality Services
 - Waterford Hotel Group
- 4 States
- 10 Brands



Holiday Inn Express Marshall, MI



- 66 Rooms
- Select Service
- Between Detroit and Battle Creek

Hampton Inn Kansas City, KS



- 76 Rooms
- Select Service
- Adjacent to Cabela's Outfitters and The Legends

Microtel Inn & Suites

Uncasville, CT



- 120 Rooms
- Select Service
- Close to two world class casinos

Sheraton Bradley Hotel

Windsor Locks, CT



- 237 Rooms
- Full Service
- Only Hotel inside the Terminal



- 48 Apartment Communities located throughout the Midwest and Northeast
- Over 5,600 units under management
- Manage both Market Rate and Affordable Properties
- Portfolio consists of both owned and fee managed properties
- Expertise in repositioning properties
- Key Relationships with HUD, CHFA, DECD, USDA Rural Housing, and ING Real Estate Investment Management
- Recipient of the 2002 NAHMA Award for Outstanding Turnaround of a Troubled Property

Clocktower & Velvet Mill

Manchester, CT



- 395 rental units in historic mill buildings

- CHFA 80/20 Program



Eagle Pointe Apartments

New London, CT



Repositioned in 2004
\$3 Million Renovation
Increased NOI by 276%

Chase Manor I & II

Norwich, CT



103 units fully occupied with 2 year waiting list
Project Based Section 8 for Elderly and Handicapped
Resident Service Coordinator
Community Room, Outdoor Barbecue and Shuffleboard



- 2 Condominium projects, each of which is 60% sold out.
- \$100 million multi-use retail/residential project in permitting.
- Lowe's anchored center in Holyoke, MA
- Vertically integrated through its affiliate, SIKON Construction Services, LLC
- Key relationships: Lowe's; Wakefern Food Corporation (Shop Rite, Price Rite); Rite Aid; McDonald's; CVS; and Aldi

Somerset

One King Phillip Drive

West Hartford, CT



- Individual locked storage
- Two Elevators
- Outdoor gas grills
- 60% of units sold

- 79 Unit condominium community
- Garage/covered parking
- Fitness Center
- Community Room/Cyber Café



Laurel Hill at The Reservoir

25 Cassandra Blvd.
West Hartford, CT



- 36 Age Restricted Condominiums
- 2/3 of units sold
- Hill Club with fireplace, kitchen, and outdoor barbeque
- Spacious fitness center with state-of-the-art equipment
- Private balconies/decks
- Secure parking at lower level with elevator access
- Spacious floor plans providing single story living
- Ten unique floor plans





- Over 30 years of experience in overseeing the construction of hotels, office buildings, residential complexes, tenant build-outs, and capital improvements in existing buildings.
- Affiliated with Konover Properties, SIKON brings owner's perspective to third party clients, affording quality construction, reliable timeframes and accurate pricing.
- SIKON places significant emphasis on management systems and the importance of review and control.
- SIKON is supported by the strength of the entire Konover Properties' organization. This strong relationship provides access to sophisticated cost accounting systems and the purchasing power of a large real estate company.
- Key Third Party relationship: McDonald's.